

Nathanael B. Greene Community Center

Guilford Whitfield Rooms Ceiling Tile Upgrade

32 Church Street
Guilford, CT 06437

Drawing List

Cover Sheet

G100 General Information & Symbol Legend

A100 First Floor Reflected Ceiling Demolition & New Plan and Details



SILVER / PETRUCELLI + ASSOCIATES

Architects / Engineers / Interior Designers

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ARCHITECTURAL ABBREVIATIONS

A.B.	ANCHOR BOLT	N.A.	NOT APPLICABLE
A.C.P.	ASBESTOS CEMENT PIPE	N.I.C.	NOT IN CONTRACT
A.D.J.	ADJUSTABLE	N.O.	NUMBER
A.F.F.	ABOVE FINISH FLOOR	N.O.M.	NOMINAL
A.C.T.	ACOUSTICAL CEILING TILE	N.P.S.	NOMINAL PIPE SIZE
ALUM.	ALUMINUM	N.S.	NEAR SIDE
APPROX.	APPROXIMATE	N.T.S.	NOT TO SCALE
ARCH.	ARCHITECTURAL		
ASPH.	ASPHALT	O.C.	ON CENTER
AVG.	AVERAGE	O.C.C.	OCCUPANT
		O.D.	OUTSIDE DIAMETER
		OPNG.	OPENING
BSMT.	BASEMENT		
B.D.	BOARD		
BRG.	BEARING	P.C.B.	PAINTED CONCRETE BLOCK
BRK.	BRICK	P.G.B.	PAINTED GYPSUM BOARD
BIT.	BITUMINOUS	PL.	PLATE
BLK.	BLOCK	PLUMB.	PLUMBING
BLDG.	BUILDING	PLYWD.	PLYWOOD
B.S.	BOTH SIDES	PREP.	PREPARATION
		P.T.	PRESSURE TREATED
		PTD.	PAINTED
		P.V.C.	POLYVINYL CHLORIDE
C.B.	CATCH BASIN		
C.B.R.	CATCH BASIN TO BE REMOVED		
C.C.I.P.	CAST IN PLACE CONCRETE		
C.L.G.	CEILING		
C.L.	CENTER LINE		
C.A.B.D.	CHALK BOARD		
C.O.	CLEAN OUT	R.	RISER
C.O.L.	COLUMN	RAD.	RADIUS
C.O.N.C.	CONCRETE	R.C.P.	REINFORCED CONCRETE PIPE
C.M.U.	CONCRETE MASONRY UNIT	R.D.	ROOF DRAIN
C.O.N.F.	CONFERENCE	REIN.	REINFORCEMENT
C.O.NSTR.	CONSTRUCTION	REQD.	REQUIRED
C.O.N.T.	CONTINUOUS, CONTINUE	R.H.	ROOF HATCH
C.J.	CONTROL CONSTRUCTION JOINT	R.L.	ROOF LEADER
C.O.NTR.	CONTRACTOR	R.M.	ROOM
C.C.	CURB CUT		
DET.	DETAIL	S.	STORM
DIA.	DIAMETER	SAN.	SANITARY
DIM.	DIMENSION	S.C.	SEALED CONCRETE
DR.	DOOR	SCHED.	SCHEDULE
DN.	DOWN	SECT.	SECTION
DWG.	DRAWING	S.F.	STEP FOOTING
		SIM.	SIMILAR
		S.O.G.	SLAB ON GRADE
E.	ELECTRICAL	SPEC.	SPECIFICATIONS
E.A.	ELECTRICAL	SQ.	SQUARE
E.CTR.	EXISTING CEILING TO REMAIN	SQ. FT.	SQUARE FEET
ED.	EDUCATION	STL.	STEEL
E.LEC.	ELECTRICAL	STRUCT.	STRUCTURAL
E.F.	EACH FACE	SUSP.	SUSPENDED, SUSPENSION
E.J.	EXPANSION JOINT	S.W.	SHEAR WALL
E.L.	ELEVATION	S.W.F.	SHEAR WALL FOOTING
ELEV.	ELEVATION	SYS., SYST.	SYSTEM
EMER.	EMERGENCY		
ENCL.	ENCLOSURE	T.	TELEPHONE
ENL.	ENLARGED	T.B.	TOP & BOTTOM
ENT.	ENTRANCE	TECH.	TECHNOLOGY
EP.	EPOXY PAINT	T.O.	TOP OF
EQ.	EQUAL	T.O.F.	TOP OF FRAME
E.S.	EXPOSED STRUCTURE	T.O.S.	TOP OF STEEL
E.T.R.	EXISTING TO REMAIN	T.O.S.L.	TOP OF SLAB
E.W.	EACH WAY	T/W.	TOP OF WALL
E.W./E.F.	EACH WAY/EACH FACE	T.T.F.	TRIM TO FIT
EXAM.	EXAMINATION	TYP.	TYPICAL
EXIST.	EXISTING		
EXP.	EXPANSION	U.O.N.	UNLESS OTHERWISE NOTED
EXT.	EXTERIOR		
		V.B.	VINYL BASE
		V.G.T.	VINYL COMPOSITE TILE
		VERT.	VERTICAL
		V.I.F.	VERIFY IN FIELD
		W.	WATER
		W.	WITH
		W.C.J.	WALL CONTROL JOINT
		W.D.	WOOD
		W.F.	WIDE FLANGE
		W.N.D.W.	WINDOW
		W.W.F.	WELDED WIRE FABRIC
		W.W.M.	WELDED WIRE MESH
		Ø	AT
		φ	DIAMETER
FDN.	FOUNDATION		
F.F.	FINISHED FLOOR		
F.P.	FOLDING PARTITION		
F.N.	FINISH FINISHED		
FXT.	FIXTURE		
F.L.	FLOOR		
F.F.	FOOT		
F.S.	FACE SIDE		
FTG.	FOOTING		
G.	GAS		
GA.	GAGE, GAUGE		
GEN.	GENERAL		
G.C.	GENERAL CONTRACTOR		
GYP.	GYPSUM		
GYP. BD.	GYPSUM BOARD		
H.C.	HANDICAPPED		
H.D.	HEADED		
H.W.R.	HARDWARE		
HGT.	HEIGHT		
H.P.	HIGH POINT		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL, HORIZONTALLY		
H.B.	HOSE BIBB		
H.	HOUR		
H.D.	HYDRANT		
INSUL.	INSULATION, INSULATED		
INT.	INTERIOR		
INV.	INVERT		
JAN.	JANITOR		
K.P.	KICK PLATE		
LAM.	LAMINATE		
L.F.	LINEAL FOOT		
L.G.	LONG		
LOC.	LOCATION		
L.P.	LOW POINT		
L.T.S.	LIGHTING		
LVL.	LEVEL		
M.	MINUTE		
MAS.	MASONRY		
MAX.	MAXIMUM		
MECH.	MECHANICAL		
M.H.	MANHOLE		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		
M.T.D.	MOUNTED		
M.T.L.	METAL		

DRAFTING CONVENTIONS

	EXISTING DOOR
	EX. DOOR TO BE REMOVED
	NEW DOOR
	DOUBLE LEAF DOOR
	DOOR W/ 1/80 HOLD OPEN
	VARYING LEAF DOOR
	TWO-WAY DOOR
	POCKET DOOR
	BI-FOLDING DOOR
	SLIDING DOOR
	DOUBLE ACTING DOOR

MATERIAL CONVENTIONS

	BRICK
	CONCRETE MASONRY UNIT (CMU)
	CONCRETE (CAST-IN-PLACE)
	CONCRETE (PRE-CAST)
	RIGID BOARD INSULATION
	INSULATION (BATT)
	EARTH
	GYPSUM BOARD
	PLYWOOD
	WOOD FRAMING (THRU MEMBER)
	WD FRAMING (UNINTERRUPTED MEMBER)
	WD TRIM/FINISH
	ACOUSTICAL TILE OR PANEL

GRAPHIC SYMBOLS

	ROOM IDENTIFICATION
	CEILING PLAN ROOM IDENTIFICATION
	FINISH FLOOR PLAN ROOM IDENTIFICATION
	CASEWORK SYMBOL
	EQUIPMENT SYMBOL
	DOOR NUMBER
	DEMOLITION NOTE
	WINDOW TYPE
	DETAIL NUMBER DRAWING NUMBER
	CONSTRUCTION NOTE
	SECTION/DETAIL DRAWING NUMBER
	BUILDING SECTION DRAWING NUMBER
	WALL SECTION DRAWING NUMBER
	EXTERIOR ELEVATION DRAWING NUMBER
	'I' INTERIOR ELEVATION 'XX' DRAWING NUMBER
	WALL TYPE
	REVISION MARK
	COLUMNS (EXISTING)
	DETAIL CALL OUT
	ELEVATION MARKER
	DATUM POINT
	REVISION CLOUD

WALL OPENING INDICATIONS

	TYPICAL WALL
	WALL TO BE REMOVED
	TYPICAL WINDOW
	EXISTING CONSTRUCTION
	WINDOW WALL
	RECESSED ITEM

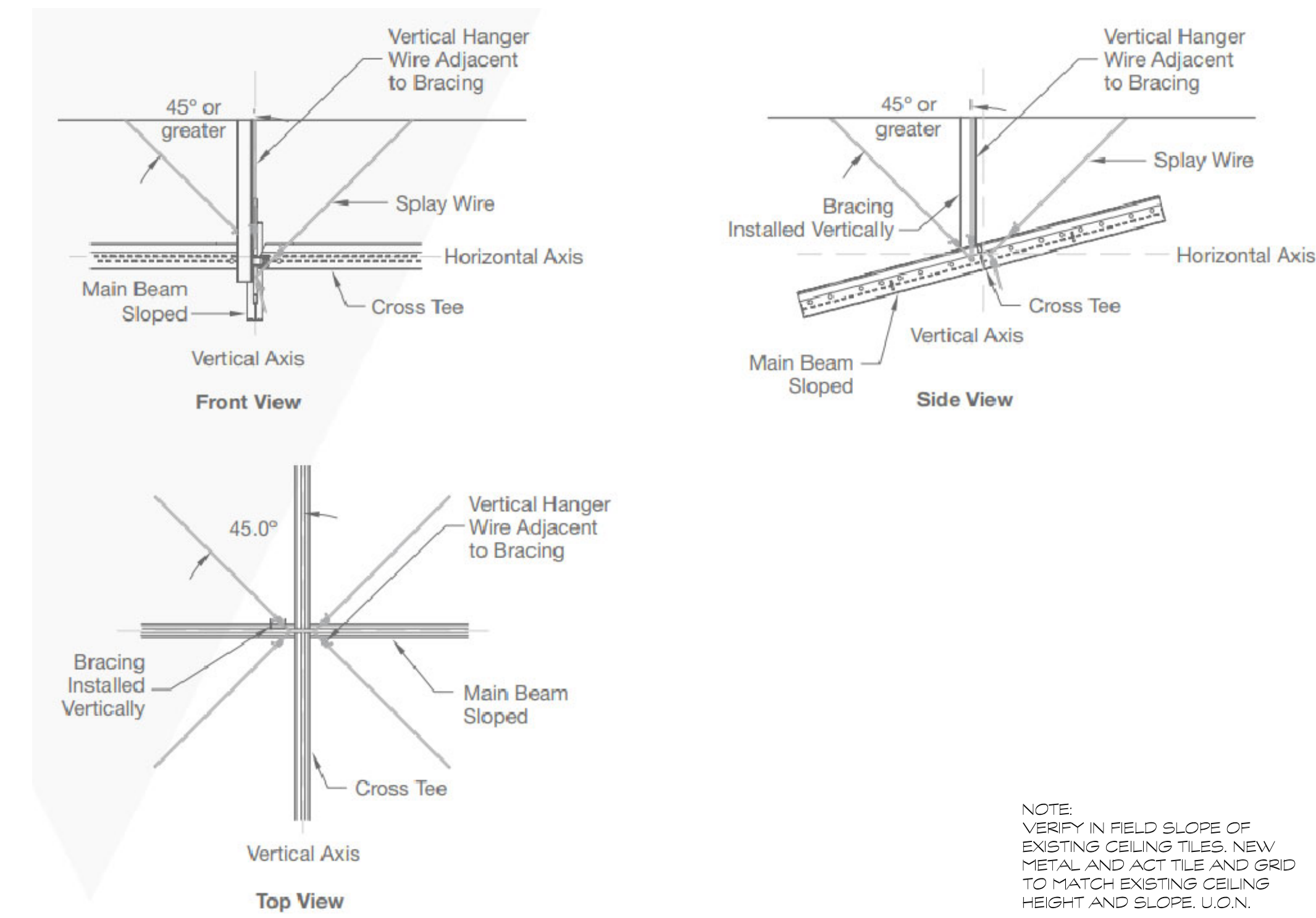
RCP DRAWING SYMBOLS

	2x4 LIGHT FIXTURE
	2x2 LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	SUPPLY DIFFUSER
	RETURN DIFFUSER
	EXHAUST DIFFUSER
	SPRINKLER HEAD

GENERAL CONSTRUCTION NOTES

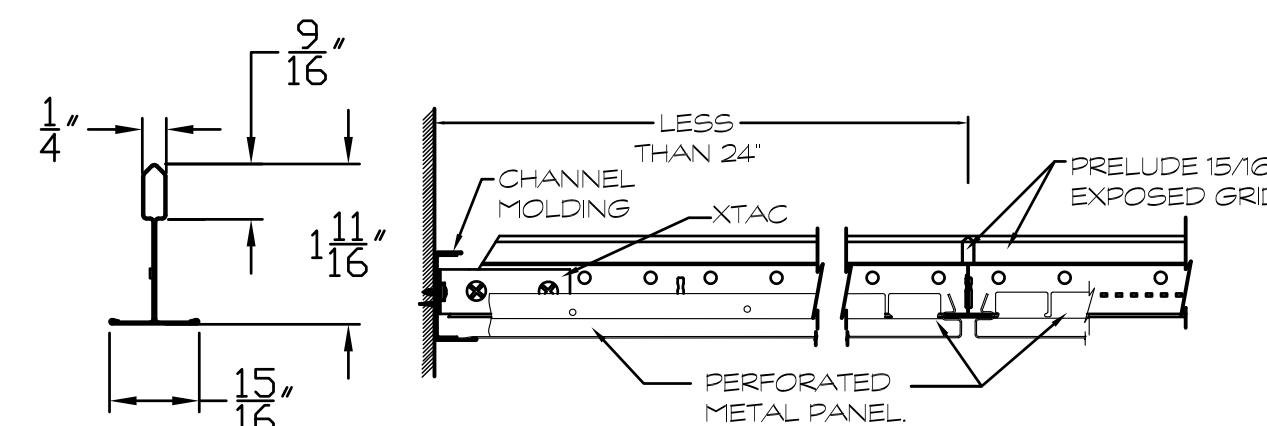
1. CODE COMPLIANCE: WORK SHALL CONFORM TO FEDERAL, STATE, AND MUNICIPAL CODES AND ORDINANCES. IN CASE OF CONFLICT BETWEEN CONTRACT DOCUMENTS AND CODE, NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY.
2. PERMITS: OBTAIN PERMITS PRIOR TO STARTING WORK. CONTRACT DOCUMENTS, THE CONTRACT DOCUMENTS, GENERAL CONDITIONS OF THE CONTRACT, OWNER-CONTRACTOR AGREEMENTS, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT.
3. THE WORK: THE TERM "WORK" AS USED IN CONSTRUCTION DOCUMENTS SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE ARCHITECT IN THE FORM OF DRAWINGS, SPECIFICATIONS, OR WRITTEN AND OTHER INSTRUCTIONS ISSUED BY THE ARCHITECT. REQUIREMENTS FOR THE WORK: PROVIDE LABOR, SUPERVISION, TOOLS, EQUIPMENT, MATERIALS, AND SUPPLIES FOR DEMOLITION, TEMPORARY AND NEW CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS.
4. UNLESS INDICATED IN THE CONSTRUCTION DOCUMENTS AS NOT IN CONTRACT (N.I.C.) OR EXISTING, ALL ITEMS, MATERIALS, AND THEIR INSTALLATION ARE A PART OF THE CONSTRUCTION DOCUMENTS. PROVIDE ACCESSORIES, COMPONENTS, AND ASSEMBLIES NECESSARY FOR THE WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, FOR ACTS OR EMISSIONS BY CONTRACTOR OR SUBCONTRACTORS, AND FOR THE FAILURE OF EITHER TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. NOTIFY THE OWNER AND ARCHITECT OF DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS PRIOR TO THE START OF WORK.
7. CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY EXAMINING DRAWINGS, SPECIFICATIONS, AND APPLICABLE CODES, AS WELL AS MAKING ACTUAL MEASUREMENTS AND ESTABLISHING ACTUAL DIMENSIONS FOR EACH PARTICULAR TYPE OF WORK, AND FOR COORDINATING THE WORK.
8. DRAWINGS GRAPHICALLY DEPICT THE DESIGN INTENT OF THE PROJECT. LOCATIONS AND DIMENSIONS SHOWN ON DRAWINGS ARE DIAGRAMMATIC, AND SHOW THE GENERAL ARRANGEMENT, AND EXTENT OF WORK. DO NOT SCALE DRAWINGS OR USE AS SHOP DRAWINGS.
9. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT SCOPE OF WORK FOR EACH SPECIFICATION SECTION.



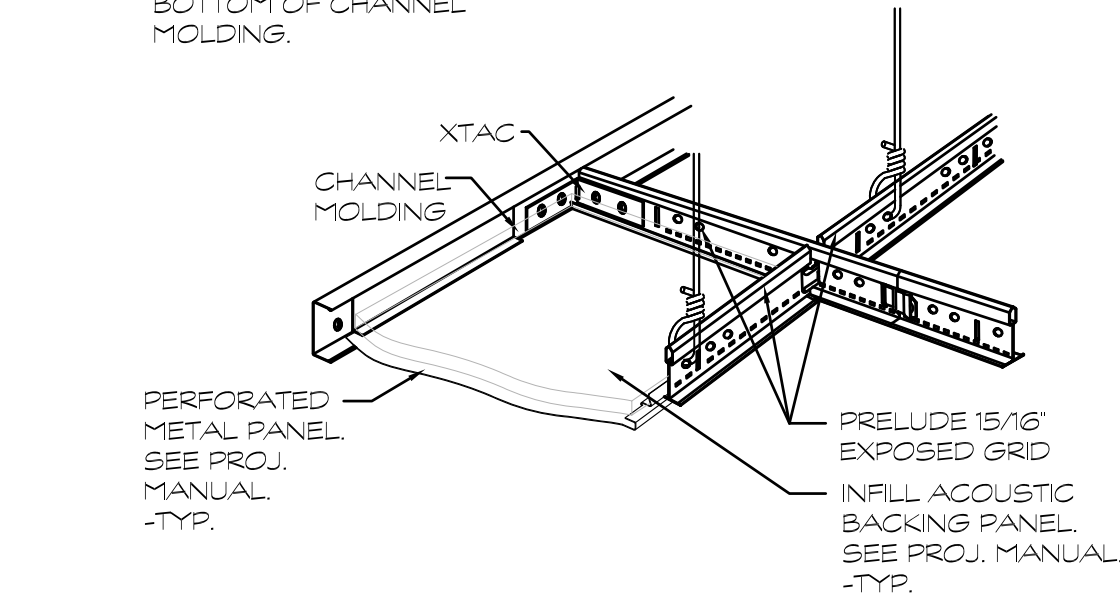


METAL TILE SLOPED DETAIL (TYP) 7
SCALE: 3" = 1'-0"

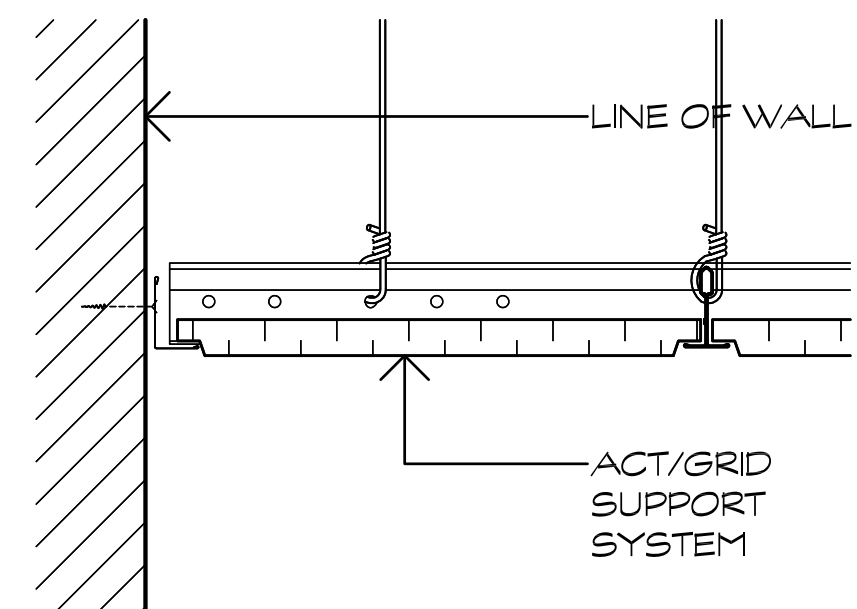
NOTE: VERIFY IN FIELD SLOPE OF EXISTING CEILING TILES. NEW METAL AND ACT TILE AND GRID TO MATCH EXISTING CEILING HEIGHT AND SLOPE U.O.N.



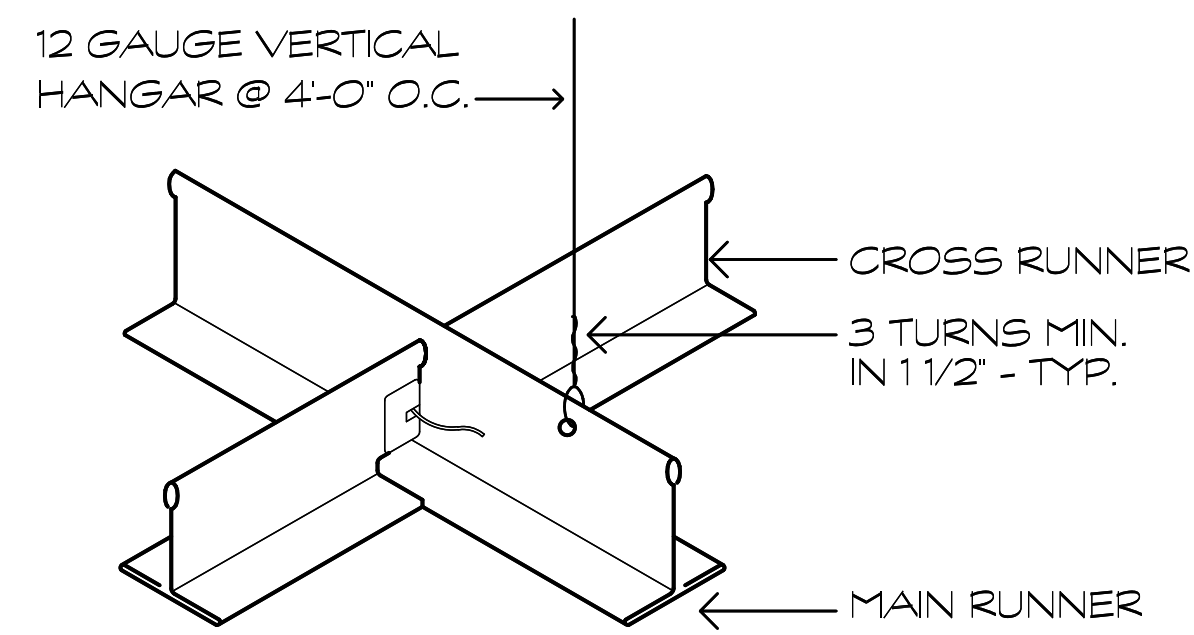
NOTE: PRELUDE GRID OFFSET 3/8\"/>



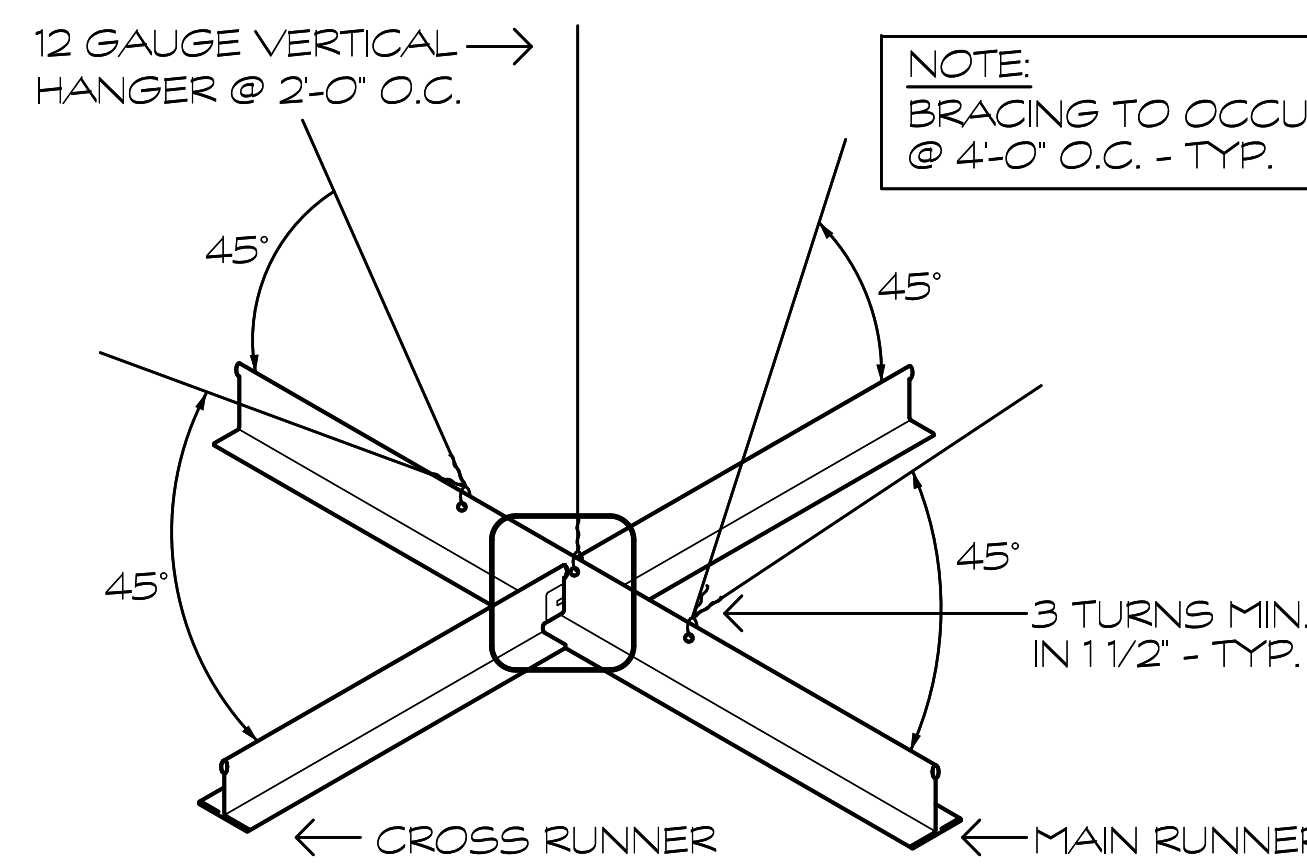
METAL TILE WITH GRID DETAIL (TYP) 6
SCALE: 3" = 1'-0"



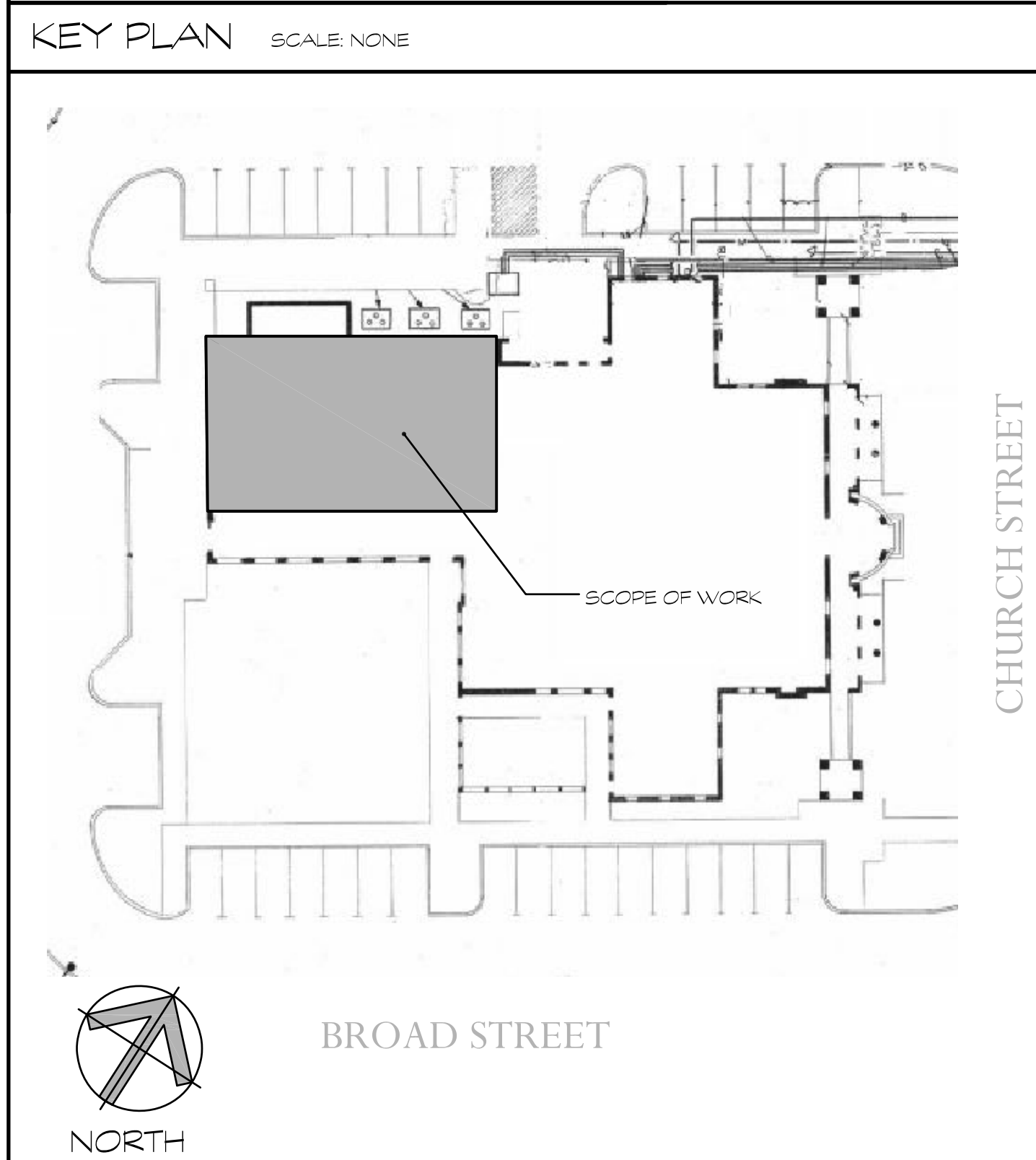
ACT GRID DETAIL (TYP) 5
SCALE: 3" = 1'-0"



ACT GRID DETAIL (TYP) 4
SCALE: 1 1/2" = 1'-0"



ACT GRID DETAIL (TYP) 3
SCALE: 1 1/2" = 1'-0"



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Guilford Whitfield Rooms Ceiling Tile Upgrade
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DEMOLITION PLAN NOTES, TYPICAL FOR AND APPLICABLE TO ALL LOCATIONS

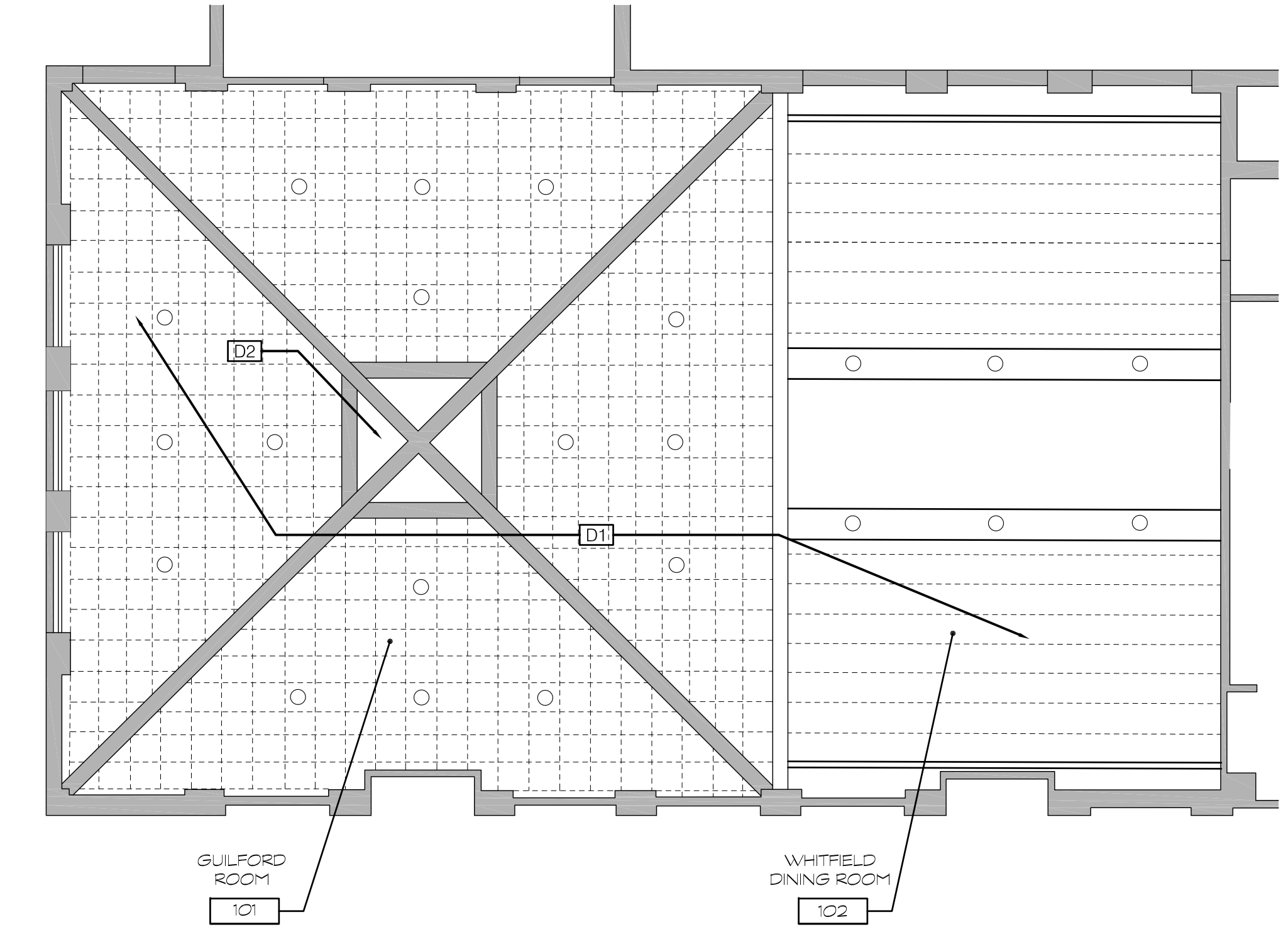
- THE CONTRACTOR IS DIRECTED TO LOCAL CODES AND REGULATIONS, AND IS TO FAMILIARIZE HER/HIMSELF WITH ALL WORK RELATING TO DEMOLITION INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - REMOVAL OF DEBRIS RESULTING FROM DEMOLITION.
 - USE OF THE EXISTING CORRIDORS IN OTHER AREAS OF THE BUILDING.
 - GENERAL STAGING AND ACCESS TO AND FROM THE AREA OF WORK.
 - ALL BUILDING MANAGEMENT RULES AND REGULATIONS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THEIR SUBCONTRACTORS TO VISIT THE SITE PRIOR TO BID, AND FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK. ANY QUESTIONS, COMMENTS, OR CLARIFICATIONS SHALL BE ASKED IN WRITING TO THE ARCHITECT PRIOR TO SUBMISSION OF BID.
- DEMOLITION DRAWINGS AND SPECIFICATIONS ARE INTENDED TO PROVIDE A GUIDE FOR DEMOLITION WORK IN THIS SPACE. THE CONTRACTOR SHALL PROCEED WITH CAUTION AND INVESTIGATE ALL EXISTING CONDITIONS THOROUGHLY. ANY DISCREPANCIES BETWEEN ASSUMED AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- IF THE DEMOLITION WORK REVEALS CONDITIONS THAT CREATE A CONFLICT WITH PROPOSED NEW WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR RESOLUTION BEFORE PROCEEDING WITH WORK.
- ALL DEMOLISHED ITEMS THAT ARE NOT SHOWN TO BE REUSED ARE TO BE OFFERED TO THE BUILDING OWNER PRIOR TO REMOVAL FROM THE SITE. IF BUILDING OWNER DOES NOT WANT ANY OF THE DEMOLISHED ITEMS, CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF THE ITEMS.
- PROTECT ALL EXISTING CONSTRUCTION TO REMAIN. ALL DAMAGE TO EXISTING CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER OR ARCHITECT.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK AFFECTING THE STRUCTURAL INTEGRITY OF THE BUILDING OR ANY STRUCTURAL MEMBERS UNLESS INDICATED WITHIN SCOPE OF WORK ON STRUCTURAL DRAWINGS.

DEMOLITION PLAN NOTES, PLAN SPECIFIC

- D1** DEMO AND REMOVE EXISTING CEILING TILE AND GRID.
- D2** ALTERNATE DEMO AND REMOVE EXISTING ROLLER SHADE AND MOTOR IN THIS AREA. DISCONNECT AND REMOVE ELECTRICAL CONNECTION. COIL UP/PULL BACK EXISTING BRANCH CIRCUIT TO NEAREST JUNCTION BOX AND MAKE SAFE TO RECONNECT TO FUTURE SHADE BY OWNER.

DEMOLITION PLAN LEGEND

EXISTING CEILING GRID AND TILE.



FIRST FLOOR - REFLECTED CEILING DEMOLITION PLAN 2
SCALE: 1/8" = 1'-0"

REFLECTED CEILING PLAN NOTES

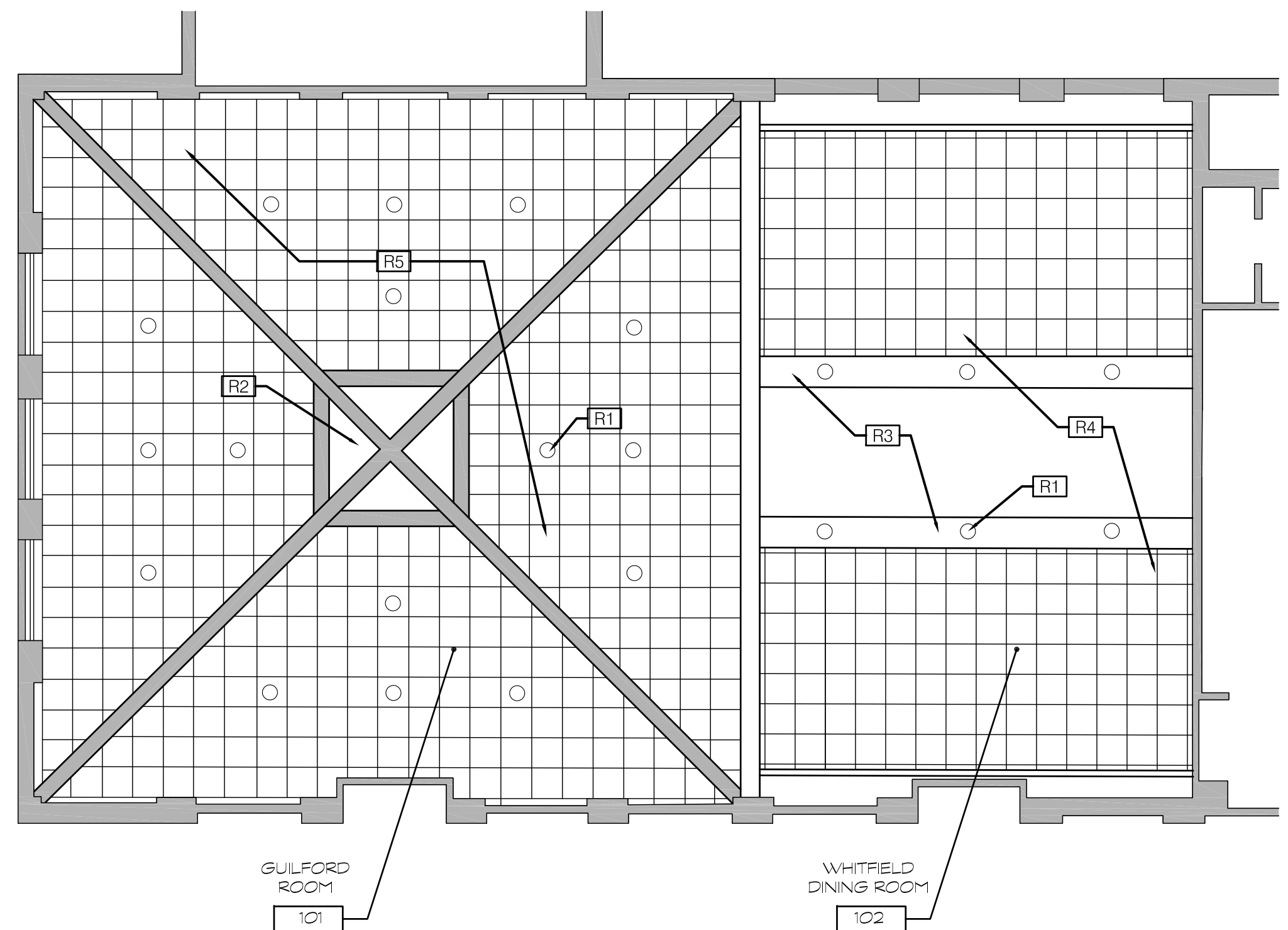
- CONTRACTOR & SUBCONTRACTOR TO THOROUGHLY REVIEW ARCHITECTURAL AND ENGINEERING DOCUMENTS AND TO NOTIFY ARCHITECT AND ENGINEER IN WRITING IMMEDIATELY OF DISCREPANCIES FOR RESOLUTION PRIOR TO SUBMISSION OF BID AND PROCEEDING WITH WORK.
- CONTRACTOR TO REVIEW COORDINATION OF MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS AND NOTIFY ARCHITECT AND ENGINEER IN WRITING IMMEDIATELY OF ANY DISCREPANCY, PRIOR TO SUBMISSION OF BID AND PROCEEDING WITH WORK.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING, RELOCATING AND RECONNECTING ANY AND ALL ELECTRONIC EQUIP. DEVICES, CONDUIT, SECURITY AND/OR WIRING AFFECTED BY THE SCOPE OF WORK PRIOR TO DEMOLITION AND UPON COMPLETION OF CONSTRUCTION, CONTRACTOR TO VERIFY ALL ASSOCIATED COMPONENTS AFFECTED WITH ARCHITECT & OWNER.
- CONTRACTOR TO VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY "AS-BUILT" CONDITIONS CONTRARY TO THOSE SHOWN OR INFERRED FROM THE CONSTRUCTION DOCUMENTS, PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO VERIFY HEIGHT PRIOR TO DEMOLITION/CONSTRUCTION TO DETERMINE HEIGHT CLEARANCES FOR EXISTING FIXTURES, CEILING GRID AND ACOUSTICAL CEILING TILES.
- CONTRACTOR TO ARRANGE AND MODIFY ALL EXISTING NON-VISIBLE MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS TO ENSURE ADEQUATE CLEARANCE FOR CEILING INSTALLATION AS SHOWN. NOTIFY ARCHITECT AND ENGINEER IN WRITING IMMEDIATELY OF ANY DISCREPANCY, PRIOR TO SUBMISSION OF BID AND PROCEEDING WITH WORK.
- CONTRACTOR TO VERIFY AVAILABILITY AND QUANTITY OF FIXTURES NOTED TO BE RELOCATED. IF A NEW FIXTURE IS REQUIRED, IT IS TO MATCH EXISTING.
- ANY DAMAGE TO THE NEW OR EXISTING CONSTRUCTION CAUSED BY THE CONTRACTOR'S NEGLIGENCE, INADEQUATE PROTECTION, OR INADEQUATE SECURITY MEASURES DURING CONSTRUCTION IS TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL SPRINKLER HEADS, LIGHT FIXTURES, EXIT SIGNS, SPEAKER GRILLES, SMOKE DETECTORS, AND SIMILAR DEVICES SHALL BE LOCATED AT THE CENTER OF CEILING TILE UNLESS NOTED OTHERWISE.
- PAINT EDGES OF CUT CEILING TILES REMAINING EXPOSED AFTER INSTALLATION. MATCH COLOR OF FACTORY FINISHED PANEL SURFACES USING COATING RECOMMENDED IN WRITING FOR THIS PURPOSE BY THE ACOUSTICAL PANEL MANUFACTURER.
- CLEAN EXPOSED SURFACES OF ACOUSTICAL PANEL CEILINGS, INCLUDING TRIM, EDGE MOLDINGS, AND SUSPENSION SYSTEM MEMBERS, COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS FOR CLEANING AND TOUCH-UP OF MINOR FINISH DAMAGE. REMOVE AND REPLACE CEILING COMPONENTS THAT CANNOT BE SUCCESSFULLY CLEANED AND REPAIRED.

REFLECTED CEILING PLAN NOTES, PLAN SPECIFIC

- R1** EXISTING LIGHTING TO REMAIN IN THIS AREA. U.O.N. - TYP.
- R2** ALTERNATE: INSTALL A NEW MOTOR AND ROLLER SHADE IN THIS AREA.
- R3** EXISTING GYP. CEILING TO REMAIN U.O.N. - TYP.
- R4** NEW HIGH ACOUSTICAL ACT TILE IN WHITFIELD DINING ROOM.
- R5** NEW METAL PANEL TILE IN GUILFORD ROOM.

REFLECTED CEILING PLAN LEGEND

NEW ACT SYSTEM @ EXISTING CEILING HEIGHT, PITCH & ANGLE



FIRST FLOOR - REFLECTED CEILING NEW PLAN 1
SCALE: 1/8" = 1'-0"

Drawing Title:
First Floor - Reflected Ceiling Demolition & New Plan and Details

Date: **SEPTEMBER 16, 2019**
Scale: **AS NOTED**
Drawn By: **HA**
Project Number: **19-210**
Drawing Number: **A100**